



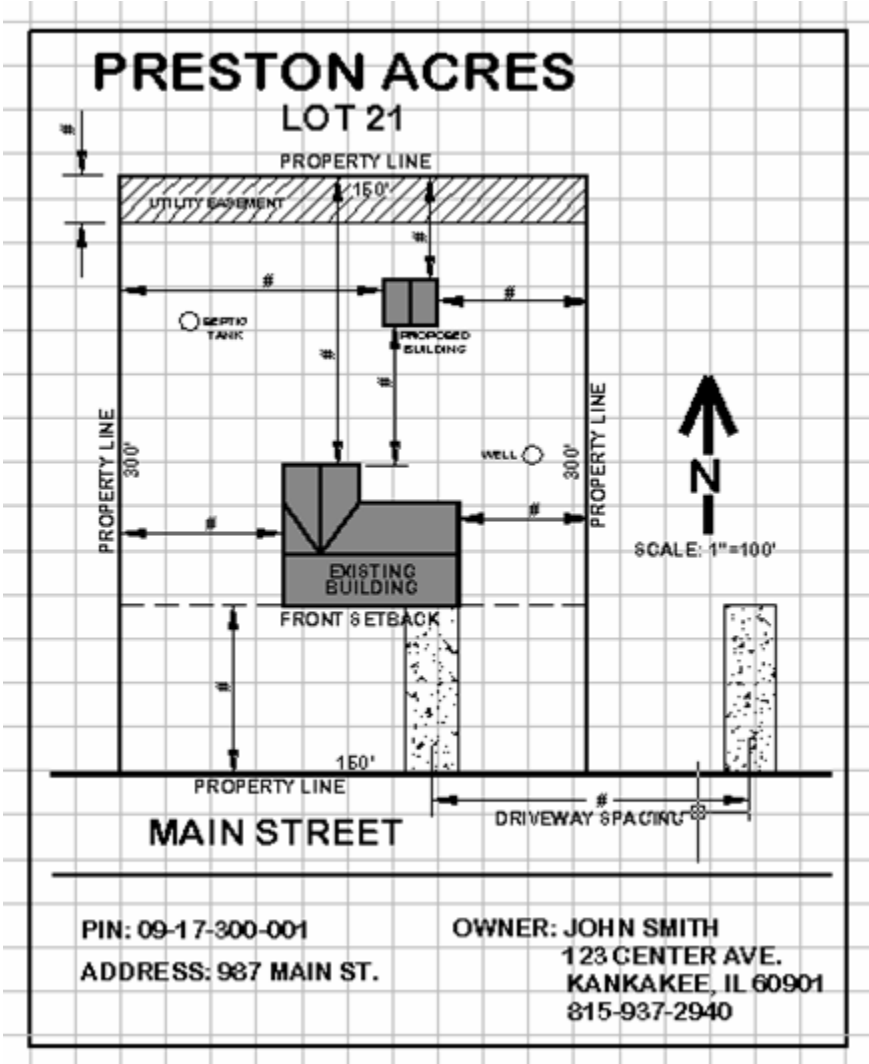
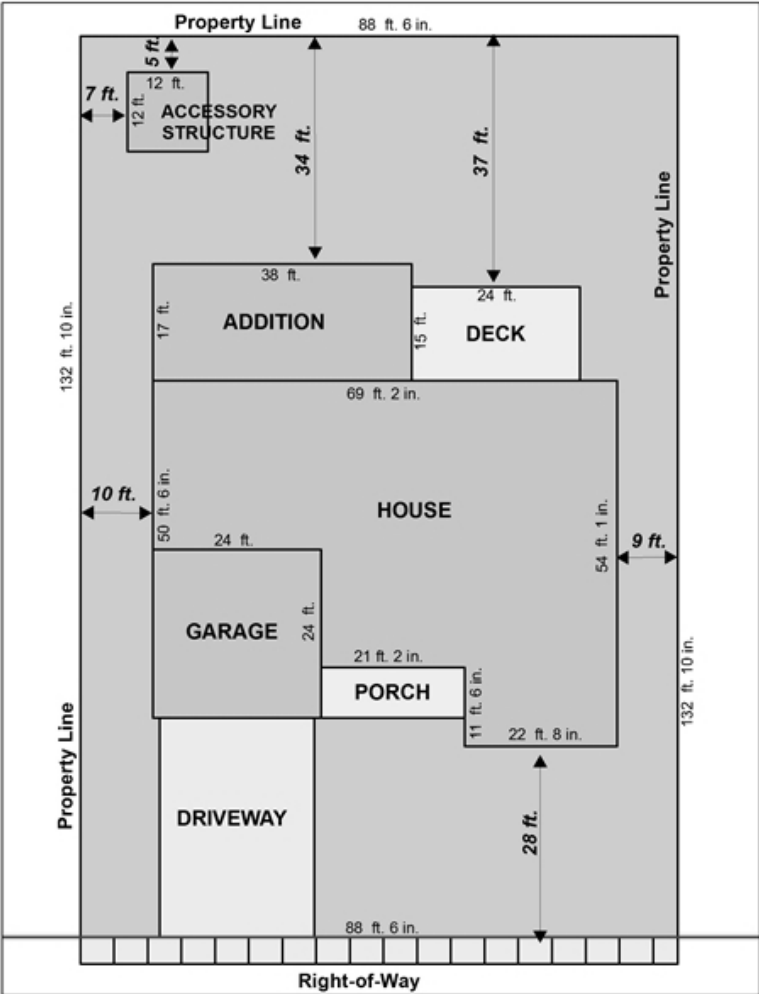
Plot Plan & Tentative Map Checklist

A Plot Plan is a drawing that shows the entire project site and all structures, existing and proposed. The following information must be shown on your plot plan or tentative map. Please check ✓ the box to the left of the items shown on the plot plan or tentative map. If any item is not on your site to your knowledge, write "N/A" next to the box. Plot plans shall be drawn on a minimum size sheet of 8-1/2" x 11", and tentative subdivision maps on a minimum size sheet of 24" x 36". **Note: This Checklist must be completed by the applicant or applicant’s agent and submitted with the application.**

Applicant: _____; APN: _____

For All Projects	
<input type="checkbox"/>	Name of Applicant, Assessor Parcel Number (APN), Address, Telephone Number, Date, North Arrow and Scale.
<input type="checkbox"/>	Subject Parcel with Dimensions, Location and Width of any Existing or Proposed Easements.
Existing and Proposed Improvements. Label as Existing or Proposed with Dimensions and Distance to nearest two (2) Property Lines.	
<input type="checkbox"/>	Structures and Buildings (include floor area, height and use).
<input type="checkbox"/>	Driveways, Parking and Turnaround Areas (indicate width, grade/slope and surface).
<input type="checkbox"/>	Utility Lines (electric, gas, telephone, sewer, water, cable tv).
<input type="checkbox"/>	Wells, Septic Tanks and Leachfields (label primary/reserve areas and test holes).
<input type="checkbox"/>	Sidewalks, Curbs, Gutters, Storm Drains, Fire Hydrants.
<input type="checkbox"/>	Landscaped Areas (include proposed exterior lighting).
<input type="checkbox"/>	Trees to be Removed.
<input type="checkbox"/>	Proposed Grading and Fill.
<input type="checkbox"/>	Direction of Surface Water Runoff.
<input type="checkbox"/>	Areas Subject to Flooding.
<input type="checkbox"/>	Steep or Unstable Slopes.
<input type="checkbox"/>	Existing Fill Areas.
<input type="checkbox"/>	Creeks, Drainage Courses, Ponds, Wetlands
Lot Line Adjustments	
<input type="checkbox"/>	Proposed New Lines and Lines to be Eliminated (show lines to be eliminated as dashed).
<input type="checkbox"/>	Area in square footage or Acreage of the Existing and Resulting Parcels.
Subdivisions	
<input type="checkbox"/>	Approximate Dimensions and Areas of Proposed Lots.
<input type="checkbox"/>	A Statement that “All Easements of Record are Shown on the Tentative Map and will Appear on the Recorded Parcel/Final Map.”
<input type="checkbox"/>	Contour Lines at _____ Intervals.
<input type="checkbox"/>	For Major Subdivisions (5 or more parcels); Proposed Drainage Improvements, Details of and Grading to be Performed, Radius of Roadway Curves, Typical Sections of Sidewalks, Curbs, Gutters, Streets.
<input type="checkbox"/>	Name and Assessor Parcel Numbers of all Contiguous ownerships.

NOTE: THE SUBMITTAL OF INCOMPLETE OR ILLEGIBLE PLOT PLANS OR TENTATIVE MAPS WILL CAUSE DELAYS IN THE PROCESSING OF YOUR APPLICATION.



PLOT PLAN EXAMPLES