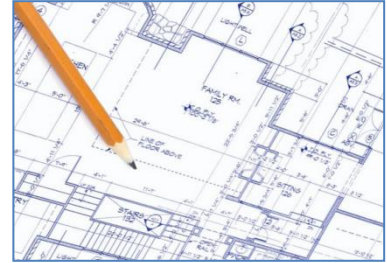


Building Plan Check Submittal Requirements

Minimum Requirements

Residential

- Two (2) complete sets of signed plans (plans for non-conventional construction must be stamped and signed by a licensed professional). (Preferred 24" x 36")
- Two (2) additional floor plans (can be 8 ½" x 11") are required for the County Assessor and Rio Dell Volunteer Fire Department.



Commercial



- Three (3) complete sets of stamped and signed plans on 24" x 36" paper.
- Two (2) additional floor plans (can be 8 ½" x 11") are required for the County Assessor and Rio Dell Volunteer Fire Department.
- New commercial development is subject to the City Design Review regulations. See Section 17.25.050 of the Rio Dell Municipal Code (RDMC).

A complete set of plans consists of the following mandatory items:

- | | |
|---|---|
| <input type="checkbox"/> Plot/Site Plan | Must comply with Minimum Standard Site Plan, depicting such things as property lines, north arrow, all buildings or structures, setbacks to property lines and creeks, driveways, lot dimensions, drainage features, contour lines, septic system, well, fire safe standards requirements, etc. |
| <input type="checkbox"/> Floor Plan | Show dimensions, use of each room, locations and sizes of windows and doors, plumbing fixtures, electrical and mechanical features. |
| <input type="checkbox"/> Foundation Plan | Show dimensions, type of foundation, details of all footings (interior and exterior), fireplace supports, porches, patios, garage slabs, straps, tie downs, anchor bolts, retaining walls, crawl space access and ventilation. |
| <input type="checkbox"/> Elevations | Exterior views from each side (min. of 4 sides) showing and identifying all exterior building materials, windows, doors, roof pitch, existing and proposed grade, setbacks to all slopes steeper than 3:1 (horizontal:vertical) stepped footing outline and appropriate details. |
| <input type="checkbox"/> Cross Sections | At least one cross section through entire building from bottom of footing to top of roof structure. Identify all structural members and insulation. Include other sections as required for complex structures, fireplaces, and special framing details. |

- ☐ **Structural Details** Structural details of all foundation, floor, wall, and roof construction, Include connections, support of beams, flashing and wood to earth separation details.
- ☐ **Signed Drawings** Plans must be signed by the designer. If the structure is commercial, non-wood framed, a residence higher than two stories, non-conventional construction (metal, concrete or masonry), or a residential project with more than four (4) dwellings on a single parcel, the plans must be signed by a licensed engineer or architect.
- ☐ **ADA Accessibility** Detail for all existing and new disabled access features shall be graphically represented on all commercial building plans. See Chapter 11B of the California Building Code.

Other Items Which May be Required:

- ☐ **Energy Calcs** All new construction and additions that increase conditioned floor space and volume require two (2) signed and stamped sets of Title 24 energy calculations. 
- ☐ **Fire Sprinkler Plans** All new residential dwellings are required to have fire sprinkler systems. Plans and specifications shall be submitted pursuant to California Fire Code and Section 13D of the National Fire Protection Association. 
- ☐ **Engineering Calcs** Any non-conventional construction (metal, concrete, masonry or long spans) requires two (2) signed and stamped sets of structural calculations.
- ☐ **Geotech Report** Two (2) signed and stamped sets are required for all new commercial structures, or if indicated in structural calculations, building plans, subdivision development plans or by site evaluation. A plan review letter from the geotechnical engineer, verifying that all geotechnical recommendations have been adhered to, may also be required.
- ☐ **Truss Calcs** Two (2) signed and stamped sets are required prior to underfloor inspection when engineered trusses are used. Trusses over 40 feet long require engineered design of supporting walls at initial plan check submittal.
- ☐ **Special Inspections** When special inspection is required by CBC Section 1704, the architect or engineer of record shall prepare an inspection program which shall be submitted to the building official for approval prior to issuance of the building permit. (CBC Sec. 109).
- ☐ **Elevation Cert** Required if project is located within 100 year Flood Zone.

***If you have any questions or need additional information, please contact the
Rio Dell Building Department at (707) 764-3532***